



**Jai Club, Jaipur**

**Engineering Procurement and Construction (EPC)**

**BID DOCUMENT**

**For**

**Construction of steel structure of  
Banquet Hall**

**(Up to skeleton stage-civil works)**

**At**

**Ashok Marg Lawns,  
Jai Club, C-Scheme, Jaipur**

## DISCLAIMER

The participating bidders are informed through sale of Bidding Documents and under disclaimer of bid documents as under:-

- (a) The interested bidder should make its own independent assessment and seek its own professional, technical, financial and legal advice.
- (b) The information provided in the bid documents has been prepared in good faith; it is not and does not purport to be comprehensive or to have been independently verified. Neither JAI CLUB, nor any of its officers or employees, nor any of their advisers nor consultants accept any liability or responsibility for the accuracy, reasonableness or completeness of, or for any errors, omissions or misstatements, negligent or otherwise, relating to the proposed interior work, or make any representation or warranty, express or implied, with respect to any written or oral information made or to be made available to any of the recipients or the professional advisers and, so far as permitted by law and except in the case of fraudulent misrepresentation by the party concerned, and liability therefore is hereby expressly disclaimed.
- (c) The information contained in the bid documents is selective and is subject to updating, expansion, revision and amendment that a recipient may require. Neither JAI CLUB nor any of its officers, employees, nor any of its advisors nor consultant undertakes to provide any recipient with access to any additional information or to update the information in bid documents or to correct any inaccuracies therein which may become apparent. Each recipient must conduct its own analysis of the information contained in bid documents or to correct any inaccuracies therein that may become apparent. Each recipient must conduct its own analysis of the information contained in bid documents or to correct any inaccuracies therein that may contain in bid documents and is advised to carry its own investigation into the proposed civil work, the legislative and regulatory regime which applies thereto and by and all matters pertinent to the proposed Project and to seek its own professional advice on the legal, financial, regulatory and taxation consequences of entering into any agreement or arrangement relating to.
- (d) The bid documents include certain statements, estimates, targets and forecast with respect to the civil work. Such statements, estimates, projections, targets and forecasts reflect various assumptions made by the management, officers and employees of JAI CLUB, which assumptions (and the base information on which they are made) may or may not prove to be correct. No representation or warranty is given as to the reasonableness of forecasts or the assumptions on which they may be based and nothing in bid documents is, or should be relied on as, a promise, representation or warranty. The estimate provided with the bid document is only for reference purpose. Actual assessment of cost for the work shall be carried out by participating bidder before online submission of bid.

# JAI CLUB, JAIPUR

Mahaveer Marg, C-Scheme, Jaipur – 302004 Telephone: +91-141-2372321, 2372322 Email:  
[-jaiclub@hotmail.com](mailto:-jaiclub@hotmail.com)

**No:-JAI CLUB/2024-25/D**

**Dated:07/06/2024**

**NIB No. : JAI CLUB /04 / 2024 -25**

Name & Address of the Procuring Entity	<input type="checkbox"/> Name: Secretary, Jai Club <input type="checkbox"/> Address: Jai Club, Ashok Marg Lawns, C-Scheme, Jaipur-302001 (Rajasthan) <input type="checkbox"/> Email: <a href="mailto:jaiclub@hotmail.com">jaiclub@hotmail.com</a>
Subject Matter of Procurement	<input type="checkbox"/> <i>Civil Construction of steel structure of Banquet Hall (up to skeleton stage-civil works) at Ashok Marg Lawns, Jai Club, C-Scheme, Jaipur.</i> <input type="checkbox"/> Job No. Jai Club Project 04/2024-2025/May/Date:07/06/2024
Bid Procedure	<input type="checkbox"/> EPC Mode, Two Envelope System; open competitive bidding as per e-Bid procedure at <a href="http://www.jaiclub.in">www.jaiclub.in</a>
Bid evaluation Criteria (Selection Method)	<input type="checkbox"/> L1 (e.g. Least Cost based Selection (LCBS)-L1)
Websites for downloading Bidding Document, Corrigendum's, Addendums ,etc.	<input type="checkbox"/> Websites <a href="http://www.jaiclub.in">www.jaiclub.in</a>
Website for online Bid application participation and payment *	<input type="checkbox"/> Website: <a href="http://www.jaiclub.in">www.jaiclub.in</a> <input type="checkbox"/> For participating in the Bid, the Bidder has to apply for this Bid and pay the Bidding Document Fee, Processing Fee and Bid Security Deposit, Online only. <ul style="list-style-type: none"><li>o Bidding document fee: Rs. 1000/- Rupees (One Thousand Only)</li><li>o Processing Fee: Rs. 1000/- (Rupees One Thousand Only)</li></ul> <input type="checkbox"/> Online/Bank Guarantee <ul style="list-style-type: none"><li>o Bid Security Deposit (BSD) as detailed below.</li></ul>
Estimated Procurement Cost	INR 2.21 Cr (Two Crore Twenty One Lakhs only)

<b>Bid Declaration</b>	<input type="checkbox"/> EMD shall be @ 2% of estimated procurement cost i.e. .Rs. 4.43 Lakhs for the bidder registered in appropriate equivalent class in govt. Department or 0.5% of estimated procurement cost i.e. Rs. 1.10 Lakhs for bidder registered in AA class in govt.. If firm registered in MSME & situated in Rajasthan then Bid Security Fees shall be deposited 0.5%. <input type="checkbox"/> Bid Security deposit can be deposited either online or in the form of Bank Guarantee in favour of Secretary, JAI CLUB, Jaipur, payable at Jaipur. The bidder will provide details of BG via No., issue date, expiring date etc. on online tendering system of JAI CLUB <input type="checkbox"/> A copy of this BG is to be attached with the document during uploading.
<b>Date/Time/Place of Pre-Bid</b>	<input type="checkbox"/> 11.06.2024 at 12.00 PM in, JAI CLUB office, Jaipur
<b>Applying Bid and making Online Payment on JAI CLUB portal (<a href="http://www.jaclub.in">www.jaclub.in</a>)</b>	<input type="checkbox"/> Start Date: 07.06.2024 at 6.00 PM <input type="checkbox"/> End Date: 18.06.2024 at 06.00 PM <input type="checkbox"/> Incase EMD in form BG ,Original Bank Guarantee is to be submitted in Room No, Jai Club by 07.06.2024 9.30 AM to 18-06-2024.up to 6.00 PM
<b>Bid Submission on e-Procurement Portal of jai club (<a href="http://www.jaclub.in">www.jaclub.in</a>)</b>	<input type="checkbox"/> Start Date:11.06.2024 at 6.00 PM <input type="checkbox"/> End Date:18.06.2024 at 06.00 PM
<b>Date/Time/Place of Technical Bid Opening</b>	● 20.06.2024 at 11.00 AM in office, Main Building, JAI CLUB, Jaipur
<b>Date/Time/Place of Financial Bid Opening</b>	Will be intimated later to the technically qualified bidders on E- portal.
<b>Bid Validity</b>	<input type="checkbox"/> 150 days from the bid submission deadline
<b>Completion period of work</b>	<input type="checkbox"/> 5 Months
<b>Job No</b>	JAI CLUB/Project 04/2024-2025/May/04 Date :07/06/2024 Amount:Rs.2,21,47,146.8
<b>A. The details of the project is as below:</b> <input type="checkbox"/> Civil Construction of proposed banquet hall, , pre function area , toilets, green rooms, mini conference hall, covered verandah up to skeleton stage with detailed designs and drawings ,structural works, civil works, and other development works at ashok marg lawn side, jai club , Jaipur.  <b>B. Payment Options:</b> Jai Club has decided to receive earnest money deposit (EMD) (Bid Security),	

Tender fee and processing fee online through JAI CLUB portal. The bid security options available in tender for participants are as mentioned below:-

- Payment Options:
- Option-1: Bank Guarantee (BG) against EMD / Bid Security in favor of Secretary JAI CLUB, Jaipur payable at Jaipur

Bidder may opt Bank Guarantee (BG) against EMD (Bid Security), for which bidder requires to prepare BG before applying in the tender. The details of BG requires to be fed on JAI CLUB portal before paying balance amount (Tender Fee + Processing Fee). This amount will be paid through Payment Gateway only, option to make balance payment through EFT (RTGS/NEFT) will not be available.

If bidder does not opt for BG against EMD, options of making complete payment through Payment Gateway or through EFT (NEFT / RTGS) will be available.

- Option-2: Electronic Fund Transfer (EFT:NEFT/RTGS)
  - ☐ If the bidder selects payment mode as EFT (NEFT/RTGS), “Paying Slip for EFT (NEFT/RTGS)” will be generated by the system for the complete amount. The payment can be made from any Bank any Branch using this Paying Slip through NEFT/RTGS (Claim against payment made through EFT in any other JAI CLUB bank account will not be acceptable and bidder stands disqualified from participation in the bid applied for). After successful transaction through NEFT/RTGS, as per the standard procedures it may take 4 to 24 hours in process of confirmation of EFT through Auto-Process depending on the time of EFT done. Therefore, option to make payment through EFT (NEFT/RTGS) will be available till 48 hours prior to closing date of bid participation. The payment may be made through RTGS / NEFT / Transfer in Bank Account Number **676405600709** IFSC Code **ICIC0006764** of bank Jaipur.
  - ☐ Bank Name - ICICI BANK
  - ☐ Branch – M.I. Road, Jaipur
  - ☐ Business Banking – Current Account
  - ☐ Account Holder Name – JAI CLUB, JAIPUR

- Option-3: Payment Gateway (Aggregator)

The facility to make payment through Debit Card, Credit Card, Net banking etc. will be available. User can use this facility from anywhere any time till the closing date & time of bid participation.

### **C. Bid Participation Receipt**

After confirming payment, the bidder will get Bid Participation Receipt on the basis of which user will get the payment details along with other details for bidding portal of jai club .

- In case of BG as the remaining payment will be done through Payment Gateway, on successful transaction the “Bid Participation Receipt” will be generated on real time basis.
- In case complete payment is done through Payment Gateway, on successful transaction the “Bid Participation Receipt” will be generated on real time basis.
- In case complete payment is done through EFT (NEFT/RTGS), on confirmation of payment from Bank (Auto Process) “Bid Participation Receipt” will be available on Login of Bidder on JAI CLUB portal.

### **NOTE:**

- 1.** Bidder (authorized signatory) shall submit their offer on-line in Electronic formats both for technical and financial proposal.
- 2.** In case, any of the bidder fails to pay the Tender Fee, BSD, and Processing Fee, online (Subject to confirmation), its Bid shall not be accepted.

1. JAI CLUB will not be responsible for delay in online submission due to any reason. For this, bidders are requested to upload the complete bid well advance in time so as to avoid 11th hour issues like slow speed; choking of web site due to heavy load or any other unforeseen problems.
2. Bidders are also advised to refer "Bidders Manual Kit" available at e Proc website for further details about the e-Tendering process.
3. The procuring entity reserves the complete right to cancel the bid process and reject any or all of the Bids.
4. No contractual obligation whatsoever shall arise from the bidding document/ bidding process unless and until a formal contract is signed and executed between the procuring entity and the successful bidder.
5. Procurement entity disclaims any factual/ or other errors in the bidding document (the onus is purely on the individual bidders to verify such information) and the information provided there in are intended only to help the bidders to prepare a logical bid-proposal.

**Secretary,**

**JAI CLUB, Jaipur**

## **Process for Participation & Depositing Payment Online**

JAI CLUB, has decided to receive Bidding document fee, Processing Fee and Bid Security Deposit (BSD) through online mode only for which the bidder has to get registered himself on JAI CLUB portal [www: jaiclub.in](http://www.jaiclub.in)

### **To participate in the bid, bidder has to be:**

Bidder should be registered in AA class category in any govt. dept. or equivalent in other departments/PSUs/private or may be a private entity registered under companies act or other relevant acts as applicable.

### **Methods for depositing online amount**

All the eligible bidders should submit earnest money deposit (EMD) (Bid Security), Tender fee and processing fee online through JAI CLUB portal. The bid security options available in tender for participants has been mentioned above.



## JAI CLUB, JAIPUR

### SCHEDULE AND SPECIFICATIONS

*Name of Work: Civil Construction of Proposed Banquet Hall up to skeleton stage at*

*Jai Club, Ashok Marg Lawns, C-Scheme, Jaipur-302001*

1.	NIB No.	:	JAI CLUB /04/2024-25
2.	Approximate cost	:	₹ 2.21 Crore
3.	Cost of the Bid document	:	₹ 1000.00,(Through Online Payment only)
4.	Bid Processing Fees	:	₹ 1000.00(Through Online Payment only)
5.	Bid Security/ Bid Declaration (In favors of Secretary, JAI CLUB, Jaipur.)	:	<input type="checkbox"/> EMD shall be @2% of estimated procurement cost i.e. Rs. 4.42 Lakhs for the bidder registered in appropriate equivalent class in Other Department or 0.5% of estimated procurement cost i.e.Rs.1.10 Lakhs for bidder registered in AA class in govt.. <input type="checkbox"/> If firm registered in MSME & situated in Rajasthan then Bid Security Fees shall be deposited 0.5%. <input type="checkbox"/> Bid Security deposit can be deposited either online or in the form of Bank Guarantee in favor of Secretary, JAI CLUB, Jaipur payable at Jaipur. The bidder will provide details of BG via No., issue date, expiring date etc. on online tendering system of JAI CLUB. <input type="checkbox"/> A copy of this BG is to be attached with the document during uploading.
6.	Download of Bid document	:	From 07-06-2024, 6.00 PM to 18-06-2024 up to 6:00PM
7.	Upload the Bid Document	:	From 11-06-2024, 6.00 PM to 18-06-2024 up to 6:00 PM
8.	Date of Pre Bid Meeting	:	11-06-2024,12:00 PM
9.	Date/Time/Place of Technical Bid Opening	:	● 20-06-2024 at 11.00 AM in office, Main Building, JAI CLUB, Ashok Marg Lawns, C-Scheme, Jaipur- 302001(Rajasthan)
10.	Date/Time/Place of Financial Bid Opening	:	Will be intimated later to the technically qualified bidders on E- portal of Jai Club, Jaipur.
11.	Physically BG submission start date	:	07-06-2024 at 09:30 AM
12.	Physically BG submission end date	:	18-06-2024 at 6.00 PM

<b>13.</b>	Last Date of submission of Bid cost, Bid Process cost & Bid Security.	:	18-06-2024 up to 6.00 PM through on line only.
<b>14.</b>	Completion period of work	:	5 Months

#### **SCHEDULE–A: INFORMATION USEFUL FOR THE BIDDERS:**

The bidder should see the site and fully understand the conditions of the site before tendering and include all leads, lift etc. This work is on EPC mode and bidder should quote his rate on lumpsum basis. The work shall be carried out in accordance with the relevant Manual and drawings submitted as per contract or duly approved by Architect–In–Charge and to the entire satisfaction of the approved Architect of club of the work.

Qualified personnel as required under the contractor enlistment rules duly approved by the Dept. Shall have to be engaged at site by the Contractor. The club Reserves the right to engage such staff and recover the expenses from the contractor on such account in case of his failure to do so.

#### **SCHEDULE–B: LIST OF THE DRAWINGS:**

Conceptual drawings for indicative purpose only enclosed with this Bid document.

#### **SCHEDULE–C: LIST OF THE DRAWINGS TO BE SUPPLIED BY THE SUCCESSFUL BIDDER:**

- (a) The successful bidder has to follow all architectural drawings & detailing as per architects approved drawings for the project and the club committee reserves the right for alteration /approval of plan.**
- (b) The successful bidder has to submit the structural working drawings of approved architectural plans and finally to be vetted from MNIT or IIT or any govt. approved engineering college structural dept. at his own cost. The structural designs should be prepared using latest software's. The same will need approval by architect appointed by Jai Club before execution.**
- (c) The successful bidder must note that all activities related to project must be**

**completed within 5 months of stipulated period.**

**SCHEDULE-D: TEST OF THE MATERIALS:**

The testing of the materials and workmanship shall be conducted by the appointed architect or JAI CLUB staff as per prescribed norms. The result of such tests should confirm to the standards and specifications. Qualified personnel as required duly approved by JAI CLUB shall have to be engaged at site by the contractor at his cost. The JAI CLUB reserves the right to engage such staff and recover the expenses from the contractor on such account in case of his failure to do so.

**SCHEDULE-E: TIME OF COMPLETION:**

The work should start within 10 days of issue of work order and complete within 5 months

**SCHEDULE-F: LIST OF ARCHITECTURAL AND WORKING DRAWINGS AS PER SPECIFICATION IS TO BE SUPPLIED BY JAI CLUB.**

**SCHEDULE-J: COST OF BID DOCUMENTS, PROCESSING FEES & BID SECURITY.**

The Bid processing fees & Cost of Bid documents & Bid Security is payable to Secretary, JAI CLUB, Jaipur will be accepted online only. Kindly refer "Instructions to Bidders" of the bid documents for process of online payment.

**Signature of the Bidder**

**Secretary**

**Jai club, Jaipur**

## **JAI CLUB, JAIPUR**

### **Schedule and Specifications**

#### **SCHEDULE–A: INFORMATION USEFUL FOR THE BIDDERS:**

The bidder should see the site and fully understand the conditions of the site before tendering and include all leads, lift etc. This work is on EPC mode and bidder should quote his rate on lump-sum basis. The work shall be carried out in accordance with the relevant Manual and drawings submitted as per contractor duly approved by Architect–In–Charge and to the entire satisfaction of the approved Architect of the work.

Qualified personnel as required under the contractor enlistment rules duly approved by the Dept. shall have to be engaged at site by the Contractor. The dept. Reserves the right to engage such staff and recover the expenses from the contractor on such account in case of his failure to do so.

#### **SCHEDULE–B: LIST OF THE DRAWING:**

Conceptual drawings enclosed with this Bid document are for indicative purpose only.

#### **SCHEDULE – C: LIST OF THE DRAWING TO BE SUPPLIED BY THE SUCCESSFUL BIDDER:**

- (a) The successful bidder has to submit at least three conceptual plans for the project before the JAI CLUB committee and the committee reserves the right for approval of plan.**
- (b) The successful bidder has to submit the planning and working drawings of approved plan and finally to be vetted from MNIT or IIT at his own cost. The structural designs should be prepared using latest software's. The same will need approval by JAI CLUB before execution.**
- (c) The successful bidder must note that all activities related to project must be completed within 5 months of stipulated period.**

#### **SCHEDULE-D: TEST OF THE MATERIALS:**

The testing of the materials and workmanship shall be conducted by the JAI CLUB staff as per prescribed norms. The result of such tests should confirm to the standards and specifications. Qualified personnel as required duly approved by JAI CLUB shall have to be engaged at site by the contractor at his cost. The JAI CLUB reserves the right to engage such staff and recover the expenses from the contractor on such accounting case of his failure to do so.

**SCHEDULE-E: NIL**

**SCHEDULE-F: TIME OF COMPLETION:**

The work should start within 10 days of issue of work order and complete within 5 months.

## **JAI CLUB, JAIPUR**

*Name of work: - Construction of steel structure of proposed Banquet Hall (up to skeleton stage-civil works) at Jai Club, Ashok Marg Lawns, C-Scheme, Jaipur .*

### **1. Procedure:**

Procedure for qualification would be as follow:

- a. Two-envelope system would be adopted. Envelope-1 being for Technical Bid and Envelope - 2 being for Financial Bid. Each envelope would be sealed separately and super scribed as "Envelope-1 Technical Bid" and "Envelope-2 Financial Bid". Both envelopes would be placed in Third envelope duly sealed, bearing the name of work and the name of the bidding contractor. In this third envelope, of earnest money, GST certificate and copy of registration of contractor in required category should also be kept.
- b. The technical bid will be opened only of those bidders whose proper Earnest money, GST certificate and copy of registration of contractor in required category are found to be in order.
- c. The Technical Bid envelope would be opened on the date 20.06.2024 at 11:00 AM in the **JAI CLUB**, Jaipur .
- d. The presentation is to be made by the bidders on 21.06.2024 at 11:00 AM as submitted with the technical bid
- e. The Financial Bid envelope would be opened only of those bidders who fulfill all the technical bid criteria.

### **2. Criteria:**

1. Contractors who fulfill the following requirements shall be eligible to apply.
2. 2(a) The bidder should have completed/ executed “Similar work” in the last 3 financial years (including the current year, if opted by the bidder) as under:  
One work costing not less than Rs. 1.00 crore; or  
Two works each costing not less than Rs. 75.00 lakhs; or  
Three works each costing not less than Rs. 50.00 lakhs

“Similar work” shall mean —Construction of a buildings like premium commercial buildings/hotels/Banquet Hall/Institutional buildings related to hospitality with Mild Steel framed structure or Composite framed structure. Mild Steel structure of at least 3 storey, including

stilt/mezzanine floors, structure steel & Deck sheet construction including erection of Pre Engineered Building (PEB) steel.

Mild Steel framed structure/Composite frames structure should consist of Columns, beams & slabs of RCC or Structural Steel / Prestress concrete. The bidder shall submit abstract of cost of completed similar work(s) along with supporting documents and certificate issued by the experience issuing authority in support of this.

**Note:**

1. Mumty and machine room shall not be reckoned in storey.
  2. Each stilt /Mezzanine constructed in the building shall be considered as a storey.
  3. The value of executed works shall be brought to current costing level by enhancing the actual value of work at simple rate of 10% per annum, calculated from the date of completion to previous day of last date of submission of bid.
- b. The bidder should have completed at least one work of construction of independent Banquet Hall/hotel/resort/ commercial buildings with Interior & furnishing work with minimum three star amenities in last 3 financial years.
- c. Should have had average Annual Financial Turn Over (gross) of value not less than 60% of bid value on construction works in any one of last 3 financial years **ending 31 March 2024** in balance sheets duly audited by Chartered accountant.

**NOTE:**

- i. The present price level for turnover and cost of completed work for the previous year's value shall be increased @ 10% every year, arithmetically

**Litigation History: - Bidder should provide accurate information on any litigation or arbitration resulting from contracts completed or under execution by him over the last Ten years. The maximum value (updated at the present price level) of disputed amount claimed in the litigation / arbitration resulting from contracts executed in the last Ten years shall be deducted from the calculated Bid Capacity of the bidder. The details shall be furnished in Schedule VI.**

The previous year's value shall be given weight age of 10% per year as follows:

(a)	2023-2024	1.00
(b)	2022-2023	1.10
(c)	2021-2022	1.21

Note:-

- (i) The bidder should enclose work orders, completion/ executed certificates and photographs of completed/ executed works.
  - (ii) In case of JV, the works of both the partners may be considered in case of more than one similar nature works are to be considered.
  - (iii) The starting & completion date of the work is to be in between above said financial year. If not, then maximum work (70%) is to be completed in the above said financial year.
  - (iv) If a bidder has submitted a certificate having different components/ nature of work then a proper completion certificate of required similar nature work and experience is to be enclosed.
  - (v) Certificate issued by Govt. of India, State Govt., Union Territory, Govt. Undertakings, Autonomous Bodies, private entities or trusts registered under companies act or other relevant acts shall only be considered.
- 2(b) The bidder should have a minimum 7 years of experience with design and/ or execution of independent Banquet Hall/hotel/resort building with Interior and architectural finishing work projects. In case of JV or consortium, the experience of either partner shall be considered. Both completed and ongoing projects shall be considered provided the bidder furnishes work orders and/ or completion certificates in support and verification of the information.
- 2 (c) The bidder should have completed the construction work with interiors and all services and amenities of at least one Resort / Hotel project/ commercial /institutional buildings.



Note:-

(i) The bidder should enclose completion certificate and photographs of completed/ executed works.

2(d) The bidder should have achieved an annual financial turnover of at least 60% of the Estimated Cost of the work bid cost in any one of last seven financial years (including current year, if opted by the bidder). In case of JV, turnover of both the partners can be clubbed but of same financial year.

Note:-

(i) The bidder should enclose certificate of Turn over from Chartered Accountant for last seven financial years & audited balance sheet of the year which is considered by the bidder in criteria.

(ii) If the current year or last year has been opted by a bidder whose balance sheet is not submitted till the submission of bid then certificate from Chartered Accountant should be enclosed.

2(e) The bidder should propose a panel of expert(s) as under:

a) Project Head with a recognized degree in B Tech (Civil) or equivalent from a reputed institute and at least Ten (10) years of total professional experience

- a) Structural Engg. with B.Tech / B.E., M.Tech (Structure) Degree and experience of minimum 7 years ;
- b) Two Nos. Civil Engg. with experience of minimum 03 years;
- c) Safety Engg. With relevant qualification and with experience of minimum 03 years.

## **GENERAL CONDITIONS OF CONTRACT**

### **Clause 1: Security Deposit**

“The security deposit @ 3% of the gross amount of the running bill shall be deducted from each running bill and shall be refunded as per rules on completion of the contract as per terms and conditions. The earnest money deposited shall however be adjusted while deducting security deposit from the first running bill of the contractor. There will be no maximum limit of security deposit.

A contractor may, however, elect to furnish bank guarantee or any acceptable form of security for an amount equal to the full amount of security deposit @ 3% of the work order before or at the time of executing the agreement. In that case earnest money may be refunded only after furnishing of the bank guarantee as above. During the execution of the work or after completion of the work also a contractor may replace the security deposit by furnishing bank guarantee for an equal amount. However, during execution of the work if cost of work exceeds as shown at the time of furnishing bank guarantee, balance security deposit shall be deducted from the Running Account Bills."

No Price variation is payable in this contract.

All compensation or other sums of money payable by the Contractor to Government under the terms of his contract may be deducted from or paid by the sale of a sufficient part of his Security Deposit, or from interest arising therefrom, or from any sums, which may be due or may become due to the Contractor by the Government on any account whatsoever, and in the event of his Security Deposit being reduced by reason of any such deduction or sale as aforesaid, the Contractor shall within ten days thereafter, make good in cash or Bank Guarantee of Nationalized/Scheduled bank, as aforesaid, any sum or sums which may have been deducted from or raised by sale of his Security Deposit or any part thereof.

In case of Bank Guarantee of any Nationalized/Scheduled Bank is furnished by the Contractor to the Government, as part of the Security Deposit and the bank goes into liquidation or, for any reason is unable to make payment against the said Bank Guarantee, the loss caused thereby shall fall on the Contractor and the Contractor shall forthwith, on demand, furnish additional security to the Government to make good the deficit.

The liability or obligation of the bank under the Guarantee Bond shall not be affected or suspended by any dispute between the Architect-in-Charge and the Contractor, and the payment, under the Guarantee Bond by the bank to the Government shall not wait till disputes are decided. The bank shall pay the amount under the Guarantee, without any demur, merely on a demand from the Government stating that the amount claimed is required to meet the recoveries due or likely to be due from the Contractor. The demand, so made, shall be conclusive as regards to amount due and payable by the bank, under the guarantee limited to the amount specified in the Guarantee Bond. The guarantee will not be discharged due to the change in the constitution of the Bank or the Contractor.

The Bank Guarantee shall remain valid up to the specified date unless extended on demand by the Architect-in-Charge which shall include the period of completion of the

contract and the defect removal period as per terms of the Agreement. Bank's liability shall stand automatically discharged unless a claim in writing is lodged with the Bank within the period stated in the Bank Guarantee including the extended period. After satisfactory completion of the contract and clearance of all dues by the Contractor, the Chief Engineer or duly authorized Engineer will discharge the Bank Guarantee after expiry of the original or the extended period, as the case may be. In case the date of expiry of the Bank Guarantee is a holiday, it will be deemed to expire on the close of the next working day.

Government is not concerned with any interest accruing to the Contractor on any form of Security (primary or collateral) lodged by him with the bank or any sums payable to securities obtained by the Bank as counter guarantee to secure its own position. These will be the matters between the Bank and the Contractor.

## **Special Conditions of Contract regarding Defect Liability Period (DLP)**

**DLP for all the components of the work under this project shall be Five Years.**

### **2. General**

#### **2.1 Inspection of works during Defect Liability Period**

2.1.1 The contracting agency shall undertake joint detailed inspection along with committee as approved, at once in three months in case of all works. The committee can reduce this frequency in case of emergency. The Contracting agency shall forward to the Architect-in-charge the record of inspection and rectification immediately after the joint inspection. The Contracting agency shall pay particular attention on those sections, which are referred as likely to be damaged.

2.1.2 One register has to be maintained by every site engineers for recording the inspection details of works in his jurisdiction under defect liability period.

#### **2.2 Conditions regarding Security Deposit**

##### **2.2.1 Security for DLP-**

The contracting agency shall have to furnish security deposit (SD)/Performance Security in the form of Bank Guarantee in favor of Secretary Jai Club, Jaipur valid from the actual date of completion, which shall be assigned by the Engineer-in-charge.

##### **2.2.2 Refund of SD (Performance Guaranty)–**

The SD shall be refunded after expiry of defect liability period after report of concerned engineering of satisfactory performance during the defect liability period.

Various conditions for managing DLP are as under:-

- (i) During DLP period if contractor fails to repair any work even after issue of 7 days written notice, same work shall be got executed by respective Executive Engineer at the contractor's risk and cost and the double of actual expenditure shall be recovered from his performance security/security deposit. This process shall be applicable throughout the DLP period. In case of failure of any obligation under part of contractor during DLP should be debarred and blacklisted from Jai Club for three years as per RTPP Rule 2012 and 2013 where he defaults twice in a single agreement or in two different works.
- (ii) Quarterly inspection as per rules shall be carried out and DLP registers shall be maintained by respective Consultants to monitor the DLP repairs.

- (iii) Special and regular inspection shall also be carried out as per terms and conditions.
- (iv) In case Jai Club feels to take up work on any existing DLP due to any reason, following procedure should be adopted.
- (v) At the time of withdrawal total liability of repairs as per DLP conditions to be carried out and contractor shall be asked to complete the same. After completion of assessed repairs DLP period shall be released after deduction amt.

Note: - Calculation is to be done on quarterly basis.

- (a) In case Contractor fails to carry out these repairs, same shall be carried out at his risk and cost. If the total amt. of such repairs works out to be more than total retained amt. of SD, same shall be recovered from other works and as per PDR rules. The amount is also to be deducted in addition to this amount.
- (b) Based upon type of work, DLP conditions for works to be carried out during DLP period with their frequency of respective type of work shall be prepared by respective Consultants after approval of these periods.

### **2.2.3 Force Majeure**

The defect arises due to earthquake, cyclone, and natural calamities shall not be the responsibly of contracting agency.

Signature of Contractor

Secretary, Jai Club, Jaipur

With Full Address

The following Particular Conditions of Contract shall complement, amend, and supplement the GCC. Whenever there is a conflict, the provisions herein shall prevail over those in the GCC

## **Definitions**

1. The Intended Completion Date will be 5 Months from Start Date followed by DLP.

The **Start Date** is the date as specified in the work order. This is the date when the Contractor can commence work on the Contract, but does not necessarily coincide with Possession Date of all the locations of Site.

## **2. Interpretation**

Sectional Completion will be not allowed.

## **3. Language and Law**

The law which shall govern the conduct of the Contract and according to which the Contract shall be construed is that in force in the State of Rajasthan, India. The language of the contract shall be in English.

## **4. Communications**

Any notification under this Contract shall be served on the party concerned when received by telex, hand delivery, courier delivery, or registered letter at the addresses listed in the Contract Data Any notification under this Contract shall be served at the addresses provided below:

Address of the Contractor:

Name: \_\_\_\_\_

Secretary, Jai Club

Address: \_\_\_\_\_

\_\_\_\_\_  
Address: \_\_\_\_\_

## 6. Insurance

The minimum amount of Third-Party Liability insurance cover shall be *Rs. 10,00,000 (Rupees ten Lakhs only)* per occurrence or event, with the number of occurrences not less than four. The Contractor shall promptly notify the Engineer of each claim made under the Third-Party Liability coverage, and shall renew the Third-Party Insurance after each such occurrence in order to maintain the number of covered occurrences at not less than four.

The minimum coverage against damage to the Works and materials during construction shall be *Rs. 5, 00,000 (Rupees Five Lakhs only)*.

## 7. Possession of Site

The employer will give possession of the sites as elaborated in the Notice to Proceed on the Date of Start as mentioned. The contractor will not be entitled to any delay or compensation event unless his work as per the agreed "Schedule of Work" is actually held up because of delay in the Employer's hand over of the site to the contractor. Refer Section V, Work Requirements for further details.

8. The work program shall be given in Inception Report submitted by the Selected Bidder and the same shall be final and binding, once approved by the Engineer. The Contractor shall submit the detailed method statement defining Contractor's methodology for implementation backed with his proposal for equipment planning & deployment duly supported with broad output calculation. The Drawings for any particular activity shall be issued to the contractor at least 30 days in advance of the schedule date of the start of the activity as per the approved program.
9. The Contractor shall provide an updated Work Program by the last day of each Month, which shall clearly demonstrate the actual progress achieved on each activity, the effect of the progress achieved on the timing of the remaining work, and the proposed changes in activities that will enable the Contractor to complete the Works within the Intended Completion Date. In case the Contractor fails to submit an updated Work Program within this time limit, the Engineer will be entitled to withhold an amount of Rs. 1, 00,000/- (Rupees One lakh only) or 1% of the Contract Value (Whichever is more) from the next payment certificate, and continue to withhold this amount until the next payment after the date on which the overdue program has been submitted.
- 10.1 If in the opinion of the Engineer, the work on site is not progressing satisfactorily in accordance with the mutually agreed "Work Program" and the delay is likely to affect the overall completion of the work within the intended date of completion, he may by a written notice to the Contractor ask him to expedite the works within 15 days suitably to make for deficiencies.
- 10.2 If the contractor fails to take appropriate action in time in pursuance of 10.1, the Engineer may by another notice informs him the components of work that will be carried out by him through another agency in parallel to the other activities being carried out by the contractor at his cost with a view of expediting the works and reducing delays. The value of the work so carried out will be credited to the contractors account, but he will not be responsible for the quality of the said work. The Engineer will recover the cost spent plus 5% for supervision charges from the next bill or

If the contractor fails to take appropriate action in time in pursuance of 10.1, the Engineer may withhold 25% amount of the delayed part of the work from the next running bills, till the contractor achieves the progress as per the agreed Work Plan.

If authority still feels the slow progress of the project then authority is free to make payments to the eligible vendors of materials and labors and get the work executed without consent of the contractor. However the contractor will be responsible for the whole project.

10.3 In addition to the Updated Program, Monthly updated progress reports shall be prepared by the Contractor and submitted to the Engineer in six copies in the first week of every calendar month. Reporting shall continue until the Contractor has completed all work which is known to be outstanding at the completion date stated in the Taking-Over Certificate for the Works. Each report shall include:

- (a) Photographs and detailed descriptions of progress.
- (b) charts showing the status of Construction Documents, purchase orders, manufacture and construction;
- (c) records of personnel and Contractor's Equipment on Site;
- (d) copies of quality assurance documents, test results and certificates of Materials;
- (e) safety statistics, including details of any hazardous incidents and activities relating to environmental aspects and public relations; and

Comparisons of actual and planned progress, with details of any aspects which may jeopardize the completion in accordance with the Contract, and the measures being (or to be) adopted to overcome such aspects.

## **11. Identifying Defects:**

Unless otherwise indicated elsewhere in the contract, the Quality Assurance and Quality Control (QA/QC) document, shall be followed.

## **12. Correction of Defects:**

(i) The Engineer shall give notice to the Contractor of any Defects before the end of the Defects Liability Period, which begins from the physical completion date specified in the completion certificate/ taking over certificate. The Defects Liability Period may be extended for as long as Defects remain to be corrected. The **Defect Liability Period** is 1 year from the date of completion mentioned in the certificate of Completion pursuant to the provisions of Clause 48.

(ii) The Engineer shall certify that all Defects have been corrected. If the Employer considers that

Correction of a Defect is not essential; he can request the Contractor to submit a quotation for the corresponding reduction in the Works Contract Price. If the Employer accepts the quotation, the corresponding change in the Contract Price is a Variation. The Defects Correction Period is 14 (fourteen) Days from the date of receipt by the Contractor of the Employer's notice to correct any Defects in the Works.

(iii) If the Contractor has not corrected a Defect within the time specified in the Engineer's notice, the Engineer may have the defect corrected by other contractor(s) and recover the cost paid for the same plus 5% for supervision charges from any amount due to the contractor.



### **13. Contract Price**

**This is an Item Rate contract on EPC basis.**

The Total Amount includes all duties, taxes, royalty, and fees that may be levied in the accordance with the laws and regulations in force as on the Base Date on the Contactor's equipment, Plant, Materials and supplies to be acquired for the purpose of this Agreement and on the services to be performed under this Agreement. Nothing in this Agreement shall relieve the Contractor from its responsibility to pay any tax including any tax that may be levied in India on profits made by it in respect of this Agreement.

### **14. Payments**

**14.1** The Total Amount shall not be adjusted to take account of any unforeseen difficulties or costs, unless otherwise provided for in this Agreement.

14.2 Unless otherwise stated in this Agreement, the Contract Price covers all the Contractor's obligations for the Works under this Agreement and all things necessary for the Construction, and the remedying of any Defects in the Project.

14.3 All payments under this Agreement shall be made in Indian Rupees.

**14.4 No price escalation will be paid under this EPC contract.**

14.6 The Authority shall make payments to the Contractor as certified by the Engineer on completion of a stage, as specified, and valued in accordance with the proportion of the Contract Price assigned to each item and its stage. Contractor will be paid as per the Payment Schedule prescribed below:

14.7 The bidder will complete the whole project in all respects including all basic facilities at the stage of running this project.

### Schedule of Stage Payments

#### PAYMENT – SCHEDULE

Sr. No.	Activity	Percentage of Total as per Item Rate Amount
A	Mobilisation Advance	10%
B	Substructure -	
1.	Raft foundation	20%
2.	Footing	
3.	Soil Filing	
4.	Stone Masonary	
5.	D.P.C.	
C	Superstructure -	
1.	Column	25%
2.	Lintel Beam	
3.	Brick Masonary	
4.	Plaster	
D	M.S. Work -	
1.	Truss	30%
2.	Puf Panel	
3.	Deck Sheet	
4.	Reinforcement	
E	VDC	5%
F	After Completion	10%
	<b>TOTAL</b>	<b>100%</b>

B. T. ROAD

ARYVIND MARG

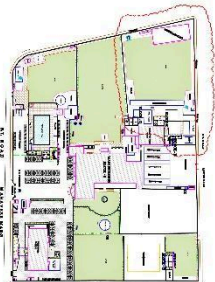
PROPOSED ARIAL VIEWS

01



ASHOK MARG LAWN (BANQUET)  
PROPOSED GROUND FLOOR  
(TRUSS AREA) = 2004.10 SQ.FT.  
PROPOSED GROUND FLOOR  
(R.C.C. SLAB AREA) = 1980.55 SQ.FT.  
TOTAL = 22001.00 SQ.FT.

SITE PLAN/ KEY PLAN



## PROPOSED BANQUET AT ASHOK MARG LAWN, JAI CLUB, JAIPUR

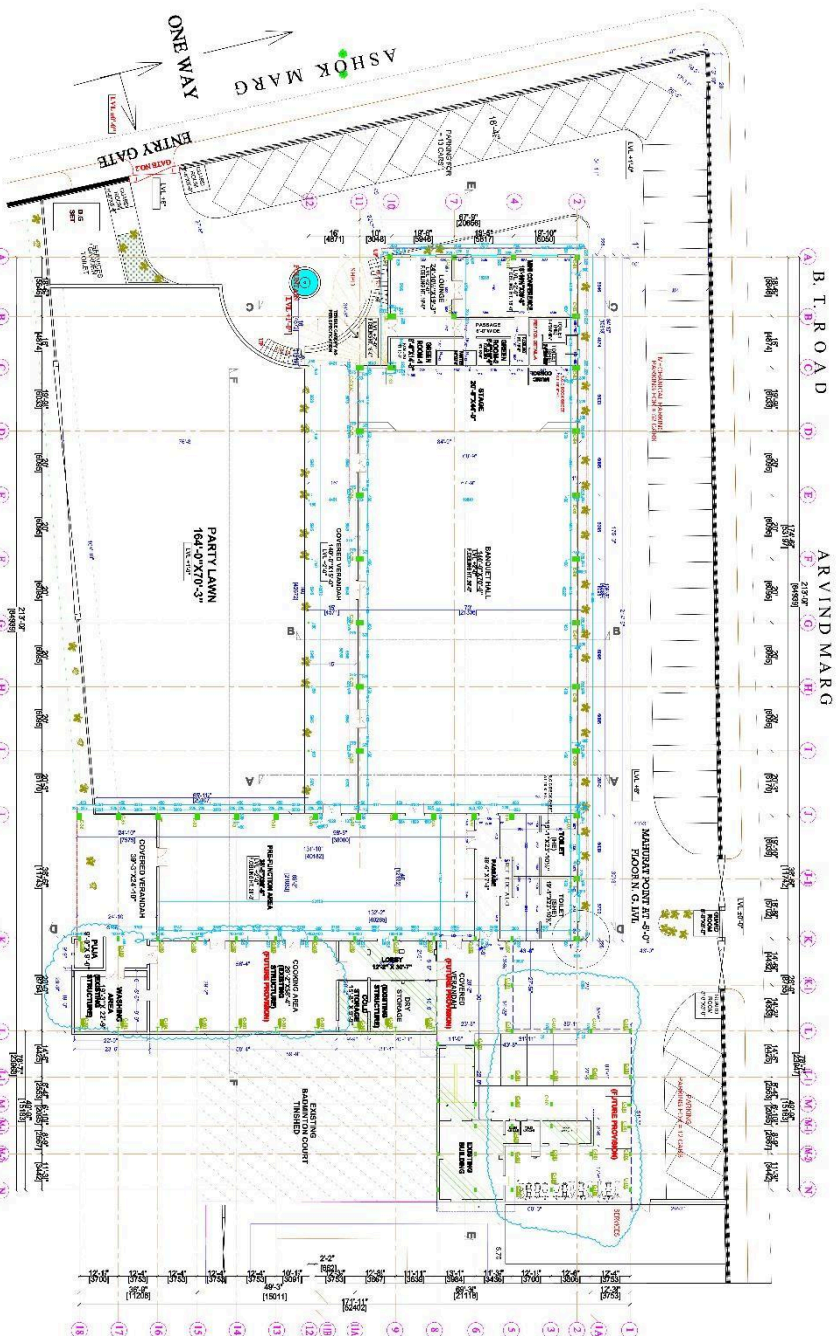
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GENERAL SPECIFICATION:-  
PROJECT TITLE: PROPOSED BANQUET AT ASHOK MARG LAWN, JAI CLUB  
DRAWING NO -01  
DRAWING TITLE: PRESENTATION DRAWING.

DRAWN BY:- A.M.V  
DATE:- 18/04/2024  
CHECKED BY:- DHIRAJ  
SCALE:- N.T.S.



ARCHAID DESIGNS PVT LTD  
ARCHITECT INTERIOR DESIGNER  
201/153, 1ST FLOOR, JAI CLUB, JAIPUR  
PHONE:- 282555, 237255 & Mobile:- 98295-5898.  
e-mail:- archaid2015@hotmail.com  
ARCHAID



# **PROPOSED BANQUET AT ASHOK MARG LAWN, JAI CLUB, JAIPUR**

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## **GENERAL SPECIFICATION:-**

PARTIAL  
CONSTRUCTION PLAN FOR 100% COVERED BANQUET HALL  
JAI CLUB, 100% FINAL PROJECT

DRAWING NO. 42

## **PROJECT TITLE:**

PROPOSED BANQUET AT ASHOK MARG LAWN, JAI CLUB

## **DRAWING TITLE:**

COLUMN CENTER LINE AND WORKING  
DRG. GROUND FLOOR

DRAWN BY:-

RAKESH

DATE:- 03/05/2024

NORTH-

CHECKED BY:-

DIRAJ

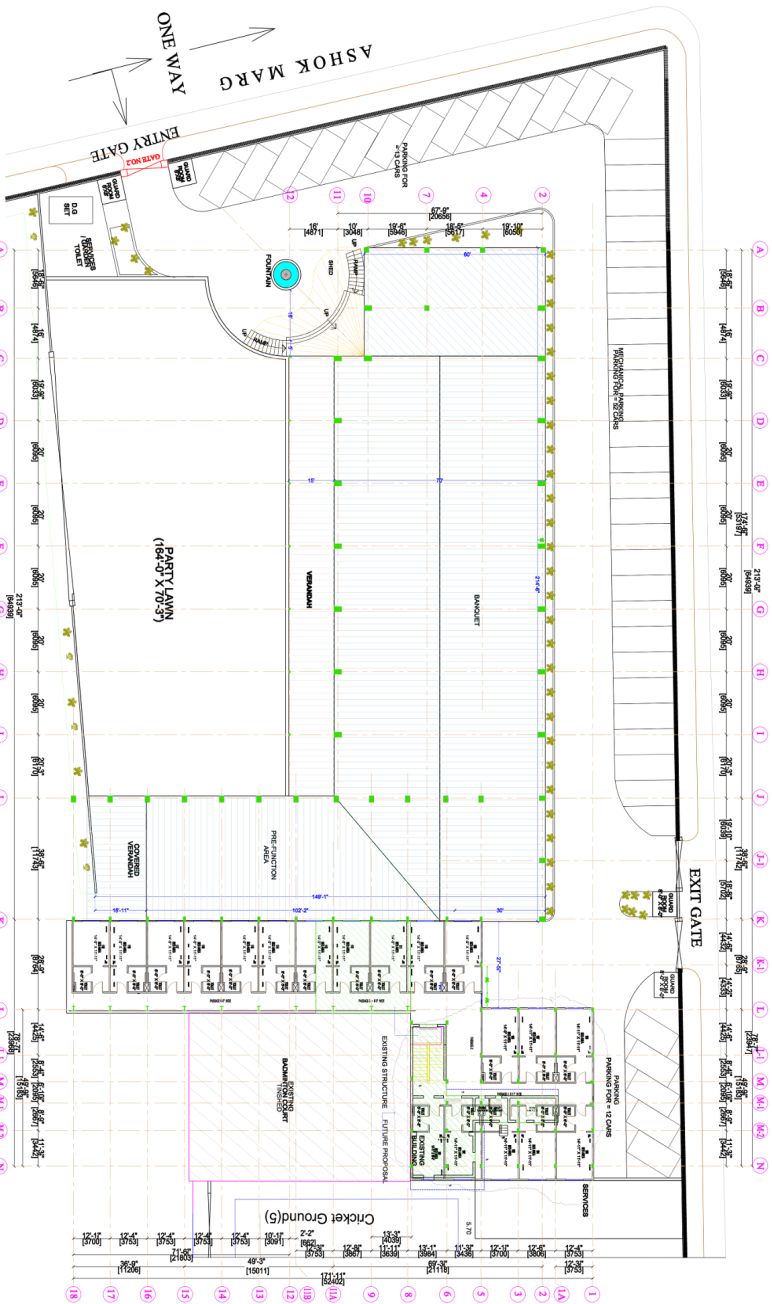
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ARCHITECT-INTERIOR DESIGNER  
207 GOLDER SQUARE, JAIPUR MARG, JACHIN, JAIPUR  
PHONE:- 982800007000 & 982800007000  
EMAIL:- 982800007000@gmail.com

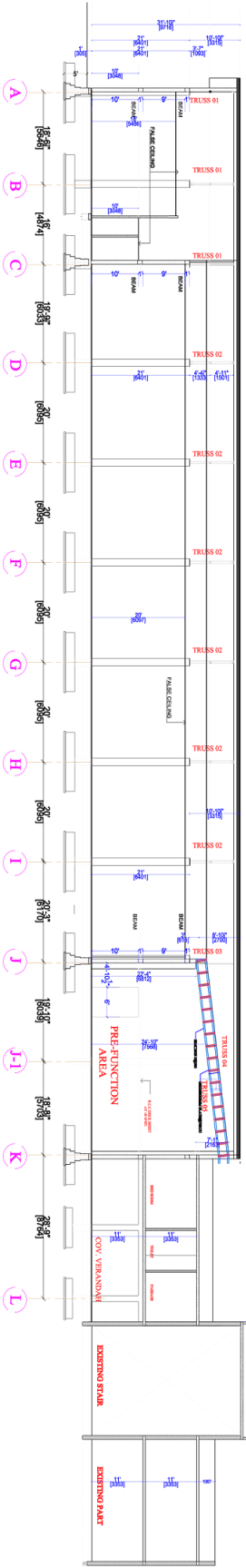




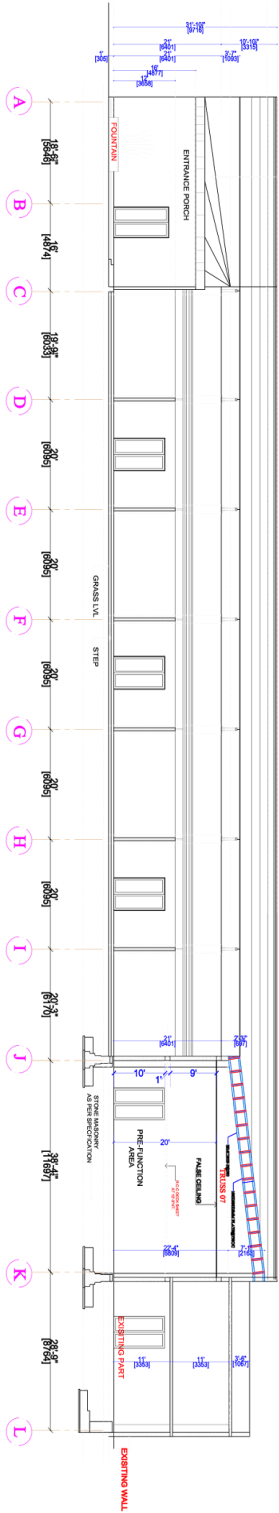
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PART:-		PROPOSED BANQUET AT ASHOK MARG LAWN, JAI CLUB		AJAY		REVISION :-		ARCHITECT-INTERIOR DESIGNER		207 DOCKERS BUSINESS LAWN MARG, COCHIN, KERALA	
JAI CLUB SET (IN 2019 FINAL DESIGN)		DRAWING TITLE:-		CHECKED BY:-		SCALE:- N.T.S		PHONE:- 282525, 237255 & Mobile:- 98200 55681		E-MAIL:- archaiddesigns@gmail.com	
DRAWING NO -03		FIRST FLOOR / ROOF CENTER LINE PLAN		DHIRAJ				ARCHAID			





SECTION AT "E-E"



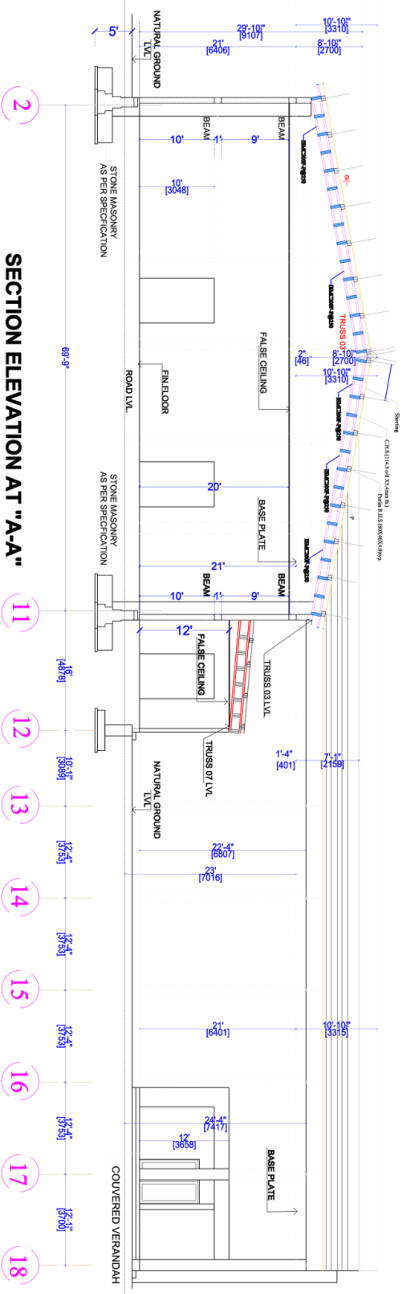
SECTION ELEVATION AT "F-F"

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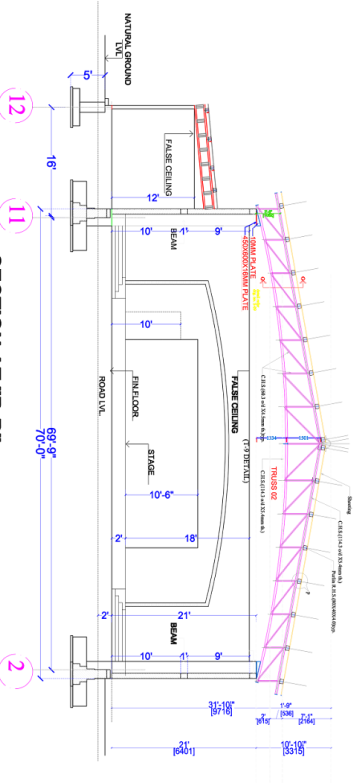
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PATH:-		REFER DRG NO - 02		RAKESH		REVISION :-			
CDMAHAIN PRAHETI (COM & COPED DATA ARCHAID PROJ A)				CHECKED BY:-		SCALE:- N.T.S			
JAI CLUBZ (100.50.50 FINAL DRWG0223)		DRAWING TITLE:		DHIRAJ					
DRAWING NO - 04		SECTION:- "E-E" & "F-F"							

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ARCHITECT-INTERIOR DESIGNER  
2ND FLOOR, 100.50.50 FINAL DRWG0223  
PHONE:- 282555, 272555 & Mobile:- 98290-58888  
e-mail :- archaid2023@hotmail.com





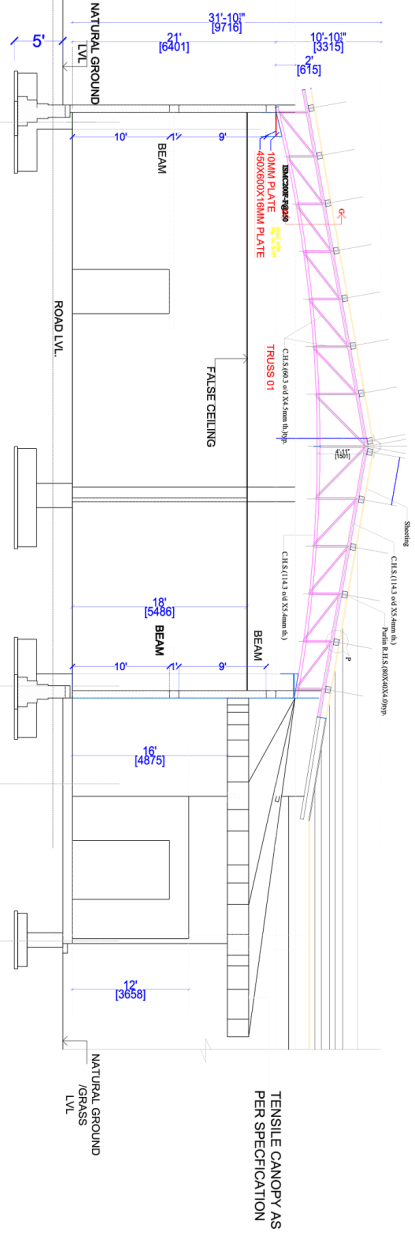
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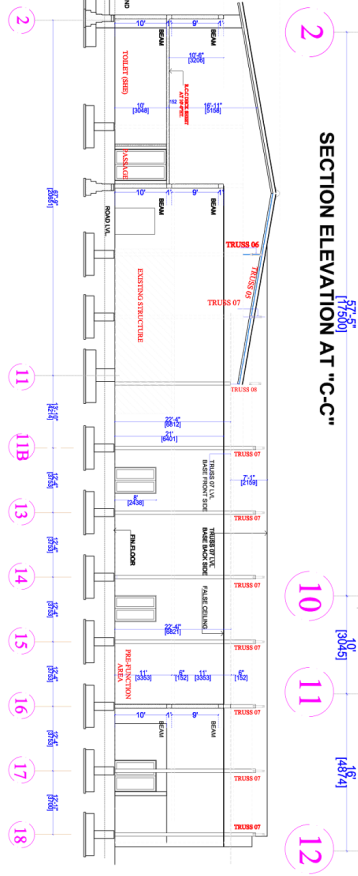
SECTION AT "B-B"

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PATH:-		C:\ARCHAIN FRAME 1\1\COM 5 CORNER DATA ARCHAID PROJ\A		CHECKED BY:-		DHIRAJ		ARCHITECT-INTERIOR DESIGNER	
DRAWING NO -05		DRAWING TITLE:		SCALE:- N.T.S				207 GOLDEN SUMMER LAWN MARG, C-SCHEME JAIPUR	
		SECTION:- "A-A" & "B-B"						PHONE:- 2362555,2372555 & Mobile:- 98290-55588	
								E-mail:- archaiddesign@gmail.com	



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PROJECT TITLE:  
PROPOSED BANQUET AT ASHOK MARG LAWN , JAI CLUB

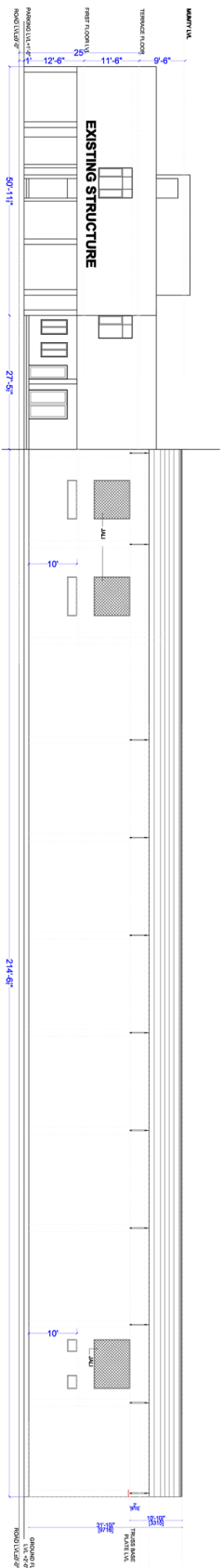
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RAKESH	REVISION :-
CHECKED BY:-	SCALE:- N.T.S
DHIRAJ	

4	NORTH:-
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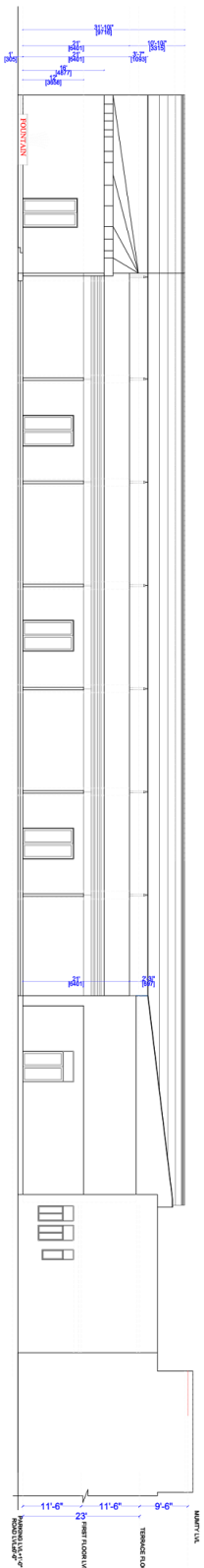
**ARCHAID DESIGNS PVT.LTD.**  
**ARCHITECT-INTERIOR DESIGNER**  
 207/GOUDEN SURVESE, LALPUTH NAKRO, C-SCHHEME, JAIPUR.  
 PHONE:- 23662555, 23172555 & Mobile:- 98290-558888.  
 e-mail:- [archaid2003@hotmail.com](mailto:archaid2003@hotmail.com)

 **ARCHAID**





WEST SIDE ELEVATION  
(ARVIND MARG SIDE)



EAST SIDE ELEVATION  
(PARTY LAWN SIDE)

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	PATIN COMMAIN PRANEI I COM 5 COPIED DATA ARCHAID PROA JAI CLUBS21 06/2019 FINAL DRG(2023)		PROPOSED BANQUET AT ASHOK MARG LAWN , JAI CLUB		RAKESH		REVISION :-				
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	ELEVATION WEST & EAST		DHIRAJ								



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DRAWING NO - 08

PROJECT TITLE:  
PROPOSED BANQUET AT ASHOK MARG LAWN , JAI CLUB

DRAWING TITLE:  
SOUTH SIDE ELEVATION

DRAWN BY:- <b>RAKESH</b>	DATE:- 03/05/2024
	REVISION :-
CHECKED BY:- <b>DHIRAJ</b>	SCALE:- N.T.S

NORTH:-

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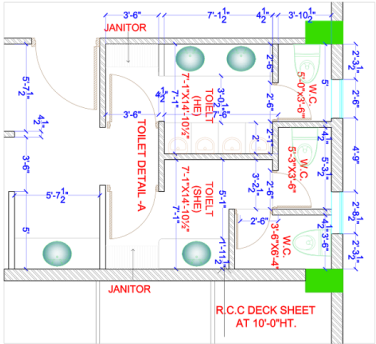
**ARCHITECT-INTERIOR DESIGNER**

207 GOLDEN SURF LALPETH MARG. C.SCHHEME,JAIPUR.  
PHONE: 2362555, 2372555 & MOBILE: 98290-55888.

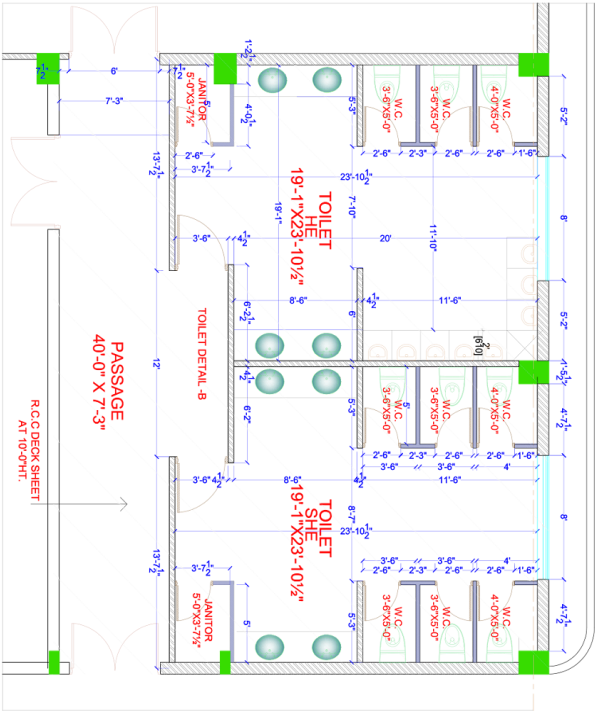
e-mail :- [archaid2003@hotmail.com](mailto:archaid2003@hotmail.com)

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PROPOSED TOILET DETAIL (A)  
BEHIND STAGE



PROPOSED TOILET DETAIL (B)  
NEAR PRE FUNCTION AREA

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REFER DRG NO - 02		PROPOSED BANQUET AT ASHOK MARG LWN, JA. CLUB		DRAWN BY:- RAKESH		ARCHAID DESIGNS PVT.LTD.	
PLOT NO. MAIN FLOOR 11 COA 1 CORNER DATA ARCHIAID PROJ. JA. CLUB 11/06/2019 FINAL DRG(02/23)		DRAWING TITLE: TOILET DETAILS		CHECKED BY:- DHIRAJ		ARCHITECT INTERIOR DESIGNER 207, COLLEGE STREET, JAIPUR MARG, C-SECTION, JAIPUR PHONE:- 9230400003, 9230400003 (whatsapp) ARCHAID	
DRAWING NO - 09				SCALE:- N.T.S			

# ARCHAID DESIGNS PVT.LTD

## TENDER SHEET

Address :	JAI CLUB, JAIPUR
Owner Name :	Secretary, Jai Club, Jaipur
Basis of Estimate :	PWD BSR 2022
Date of Estimate :	17.05.2024
Banquet Area :	<b>22001 sqft</b>
Name of Work : Development of <b>New Banquet Hall</b> At JAI CLUB, JAIPUR	

## BOQ OF NEW BANQUET HALL

Sr. No.	PARTICULAR	UNIT	QUANTITY	RATE	AMOUNT
<b>1</b>	<b>EXCAVATION</b>				
	Excavation for foundation up to required depth below existing ground level in any type of soil including hard rock. Rate to include dressing the sides and bottom, bailing out of water if encountered, shoring, and strutting.	CU.MT.	2125		
<b>2</b>	<b>SOIL FILLING</b>				
	Filling available excavated earth (excluding rock) in trenches, plinth side of foundation etc. in layers not exceeding 20 cm. in depth, consolidating each deposited layer by ramming and watering including lead up to 50 meter and with all lift, backfilling after the construction of foundation, compacting by the side of the foundation and disposal of surplus excavated earth within/outside site premises to an unobjectionable place within a radius of 5 KM, as directed by the Engineer in Charge including spreading, watering and compaction, complete.	CU.MT.	2081		
<b>3</b>	<b>V.D.C. WORK 150 MM THICKNESS</b>				

	Prepare the concrete surface make sure the concrete is placed correctly and finished with a smooth, level surface .Remove any excess water from the surface using required equipment's.	CU.MT.	137.77		
<b>4</b>	<b>GROOVE WORK FOR V.D.C.</b>				
	Isolating work area cleaning vdf floors and grooves insulating backer rod and applying primer to the grooves and mixing and pouring polysulphide sealant into the prepares the grooves and their curing.	RN.MT	700		
<b>5</b>	<b>R.C.C. M-25 FOUNDATION WORK</b>				
	Providing, batching, mixing, transporting through transit mixers, pumping and laying Reinforced Cement Concrete of specified grade at all levels and heights specified. necessary admixtures approved by Consultants (Conplast SP 430SRV from Fosroc or equivalent), including all leads and lifts, pumping using line pump or boom placer, vibrating/ compaction, scaffolding wherever necessary, curing as directed.	CU.MT.	190		
<b>6</b>	<b>R.C.C. M-25 WORK (SUPERSTRUCTURE)</b>				
	Providing, batching, mixing, transporting through transit mixers, pumping and laying Reinforced Cement Concrete of specified grade at all levels and heights specified. Including the cost of steel reinforcement. river sand, 20 mm and down size coarse aggregates, necessary admixtures approved by Consultants (Conplast SP 430SRV from Fosroc or equivalent), including all leads and lifts, pumping using line pump or boom placer, vibrating/ compaction, scaffolding wherever necessary, curing as directed.	CU.MT.	100		
<b>7</b>	<b>MASONRY 150mm WALL THICKNESS (4.5")</b>				
	Providing and laying brick work with bricks of class 75, joints finished , cured including necessary scaffolding complete in cement mortar 1:6 with coarse sand, in Super structures (For all level)	CU.MT	24		

<b>8</b>	<b>MASONRY 230mm WALL THICKNESS (9")</b>				
	Providing and laying brick work with bricks of class 75, joints finished , cured including necessary scaffolding complete in cement mortar 1:6 with coarse sand, in Super structures (For all level)	CU.MT	362		
<b>9</b>	<b>STONE MASONARY</b>				
	Providing and laying stone masonry work with joints finished , cured including necessary scaffolding complete in cement mortar 1:6 with coarse sand, in below plinth level.	CU.MT	293		
<b>10</b>	<b>SHUTTERING WORK</b>				
	Providing, fabricating and erecting form work of all shapes at all levels and places wherever needed/specified as per drawing with steel plates with adjustable steel props of acceptable staging system and with sufficient bracing as approved by consultant. The rate will includes strutting, propping bracing both ways and removal of formwork. Cost to include sealing the joints with heavy duty brown self-adhesive tape, foam packing, aligning to line and levels including M.S. Ties, PVC Spacer, Providing openings / cut outs / pockets, applying de shuttering chemical, De shuttering as approved by the consultant etc., complete at all levels and heights.	SQ.MT.	2178		
<b>11</b>	<b>CEMENT PLASTER - INTERNAL WALL</b>				
	Prepare the surface and provide 12 to 15 mm thick cement plastering on internal walls, columns, beams, etc., in cement mortar ((1 cement: 6 fine sand)) finishing to line and level with cement rendering, rounding off all corners wherever required to all internal walls inclusive of sills, jambs, soffits, finished roughly at tile fixing sides. The rate will includes hacking on rcc surface, making grooves in plaster if required, curing , scaffolding charges, cost and conveyance of all materials and labour charges etc. complete for all heights & levels.	SQ.MT.	385		

<b>12</b>	<b>CEMENT PLASTER - EXTERNAL WALL</b>				
	Providing 20 mm thick cement plaster in two coats for external wall under layer 12 mm thick cement plaster 1:4 (1 cement : 4 coarse sand) with CICO/ IMPERMO/ ACCOPROOF/ Sikacim M water proofing compound mixed as per manufacturer's specifications as 1st coat and top layer 8 mm thick cement plaster 1:6 (1 cement: 6 fine sand) and finished as specified, including providing necessary plaster grooves at junctions wherever required including carrying charges of all material, necessary scaffolding, lead & lifting charges, hacking to the surface & curing. The quoted rate shall include addition of approved water-proof compound (dosage as per manufacturer) as directed by the Project Manager.	SQ.MT.	491		
<b>13</b>	<b>ANTITERMITE TREATMENT</b>				
	Diluting and injecting chemical emulsion for PRE-CONSTRUCTIONAL <b>ANTI-TERMITE</b> treatment and creating a continuous chemical barrier under and all-round top surface of plinth filling, junction of wall and floor, along the external perimeter of building etc. complete as per specification (plinth area of the building at ground floor only shall be measured for payment).	SQ.MT.	1899.36		
	Chlorpyriphos Emulsifiable concentrate 20% with 1% concentration				
<b>14</b>	<b>PUF PANNEL</b>				
	COVERED VARANDAH	SQ.MT	205		
	ALL OVER TRUSS EXCEPT COVERED VARANDAH	SQ.MT	1952		

	Supplying, fixing and installation 50mm hick sandwich PUF panels 0.5 mm thick pre painted colour coated galvanized steel sheet on with 50 mm thick layer polyurethane foam (density 40+-2 kg/m <sup>2</sup> insulation manufactured on continuous line. Grove join with all accessories like U-flashing. Flashing made up of PPGI sheet of thickness 0.5 mm .The top finished surface of will have guard film/protection sheet for against scratches during handling and transportation. Complete in all respects to entire satisfaction of E.C.				
<b>15</b>	<b>M.S. WORK (DECK SHEET WORK)</b>				
	Providing and fixing 1 mm thickness G I coated Deep Deck sheet (grade 350) with overall depth D-50mm as per the drawing and specification and fixing with main m.s. member as per drawing.(All sheeting work included)	SQ.MT	111		
	Providing amid fixing M.S.Work with 2 coat red oxide primer as per the drawing and specification. All the joints and the sections should be cut to length, welded and grinded wherever necessary etc., complete. The work includes cost of materials, cutting and grinding equipment, and electricity charges etc., complete as per specification and Architectural drawing.				
	Providing and fixing of Hilt, ficher or equipment Chemical Anchore Fastener M12 (Approx.) as per the structural drawing and specification.				



	Providing and fixing Hilt, ficher or equivalent Chemical Anchore Fastener M20 as per the structural drawing and specification.				
<b>16</b>	<b>M.S WORK</b>				
	Providing and fixing M.S.Work with 2 coat red oxide primer as per the drawing and specification. All the joints and the sections should be cut to length, welded and grinded wherever necessary etc., complete. The work includes cost of material, cutting and grinding equipment, and electricity charges etc., complete as per specification and Architectural drawing.	MT	47		
	Providing and fixing of Hilt, ficher or equipment Chemical Anchor Fastener M12 (Approx.) as per the structural drawing and specification.				
	Providing and fixing Hilt, ficher or equivalent Chemical anchor Fastener M20 as per the structural drawing and specification.				
<b>17</b>	<b>REINFORCMENT WORK</b>				

	<p>Providing, Fabricating &amp; fixing in position reinforcement for RCC work with Thermo mechanically Treated (TMT) bar of various diameters and grade of steel (Fe500) as specified in the approved drawing conforming to IS specification including cutting, providing, supplying, bending, hoisting, fabricating and placing in position according to drawings and binding the reinforcement with Mild Steel Black annealed binding wire in two strands of 18 gauge and providing PVC/concrete cover blocks for placing the reinforcements in position and for maintaining the cover specified and/or according to relevant IS code. Note: Unless noted otherwise the measurements in accordance with IS 1200. However reinforcement shall be measured only in lengths of bars as actually placed in position on standard weight basis, no allowance being made in the weight for rolling margin. Authorized laps and splices, chairs of any shape &amp; profile, Spacer bar of any shape &amp; profile only will be measured and paid separately. Cover block, wastage and binding wire shall be included in the quoted rate and to include lead, lift, placing at all levels and as per the approved bar bending schedule, as directed.</p>	MT	32		
<b>18</b>	<b>P.C.C</b>				
	<p>Providing and laying PCC 1:3:6 using 40 mm and down size graded stone aggregates including machine mixing, providing formwork if required, placing, compacting by hand ramming, curing etc. complete.</p>	CU.MT	226		

# LIST OF MATERIAL SPECIFICATION & STANDARDS

(Preferred Makes / Brands / Manufacturer)

## STRUCTURAL AND CIVIL WORK

Sr. No.	Material	Preferred Makes / Brands / Manufacturer
1.	Cement (OPC43or53)	WONDER / ULTRATECH / AMBUJA / SHREE
2.	White Cement	BIRLA CEMENT / J.K.WHITE
3.	Reinforcement Steel	SAIL / TATASTEELLTD / JSW / Vizag (PRIMARY STEEL)
4.	Parallel Threaded Couplers	DEXTRA / G-TECH / TATA
5.	Re-barring Chemical	HILTI / 3M INDIA
6.	Structural Steel	TATA /JSW STEEL LTD / SAIL / JINDAL STEEL & POWER LTD. (PRIMARY)
7.	Plasticizer, Super Plasticizer, Admixtures. Other construction chemicals.	M.C.BAUCHEMIE / FOSROC / SIKA / BASF
8.	AAC Block	AEROCON / BILTECH / J.K. Laxmi / MAGICRETE / PAVCON
9.	AAC Block Adhesive.	ULTRATECH / FERROUS CRETE / BAL ENDURA / AEROCON / J K Laxmi
10.	Polymer modified cementious grout.	WEBBER / MAPAI / CAPA / KERAKOLL
11.	List of RMC producers	ULTRATECH / ACC / READY MIX INDIA PVT.LTD
12.	Curing Compound	FOSROC / SIKA / PIDILITE / STP / CICO / BASF

13.	Expansion Joint-modular	HERCULES / Z-Tech / SANFIELD
14.	Bricks	1 <sup>ST</sup> Class KLIN BRICKS
15.	Coarse Aggregates	20MM NOMINAL MACHINE CRUSHED
16.	Sand	LOCAL AVAILABLE RIVER SAND OF COARSE QUALITY
17.	Anti-Termite Chemical	BAYER / PIDILITTE
18.	Welding Rod	TATA / ADOR / ESAB / D&H / MODI / ADANI
19.	Bolts	AMCO / MNC /CANCO / HILTI
20.	Cover Blocks	ACC / AMCRETE / ASTRA
21.	Puff Panels	LOCAL MANUFACTURER
22.	Roof In Sheet	JSW / KISRLOSKAR/ TATA JINDAL
23.	Deck Sheet	DURAKOLOR / JSW / ALFA PEB
24.	Stone	LOCAL QUERY